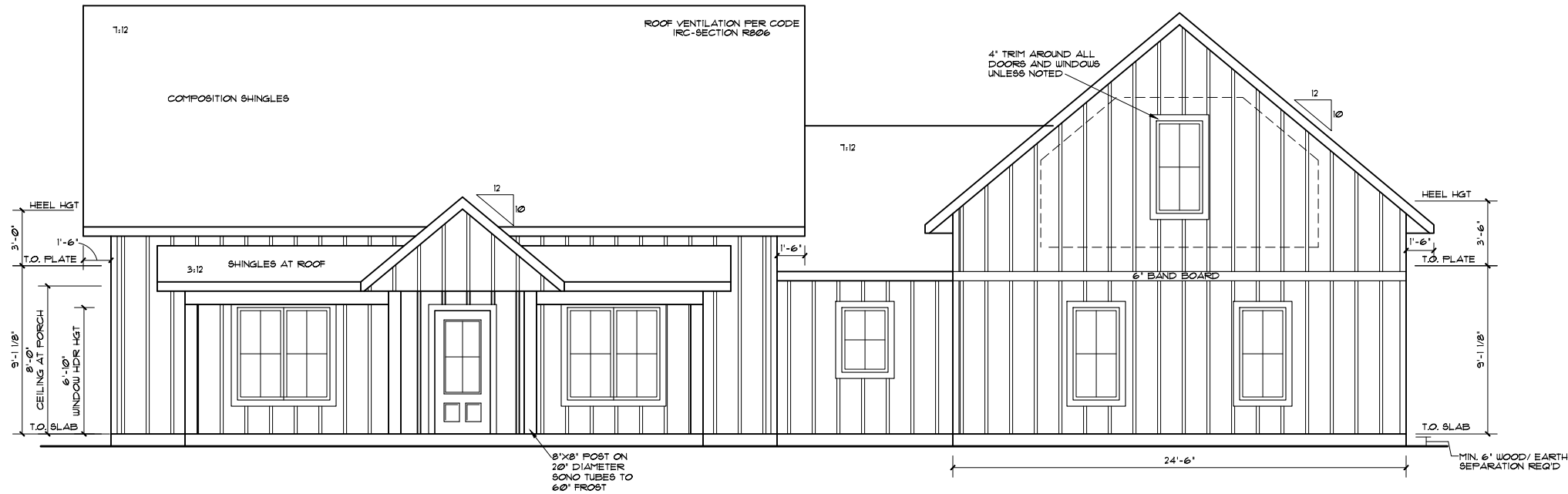
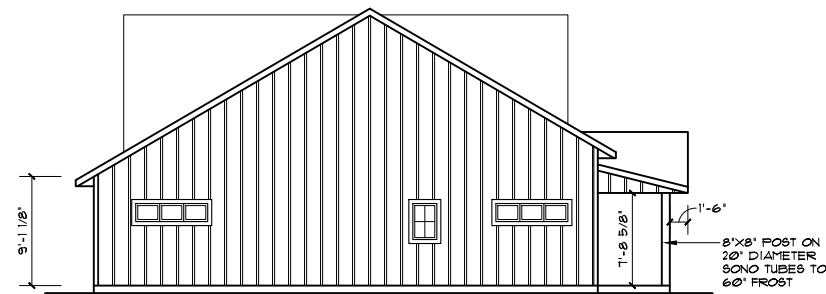
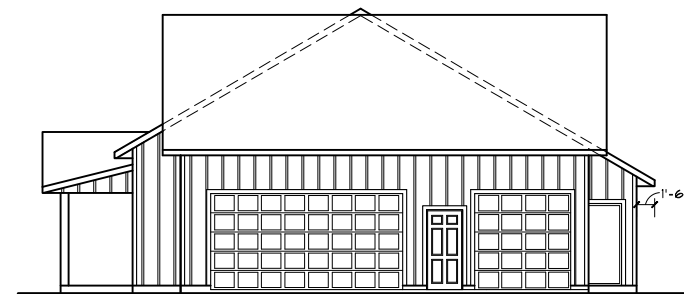




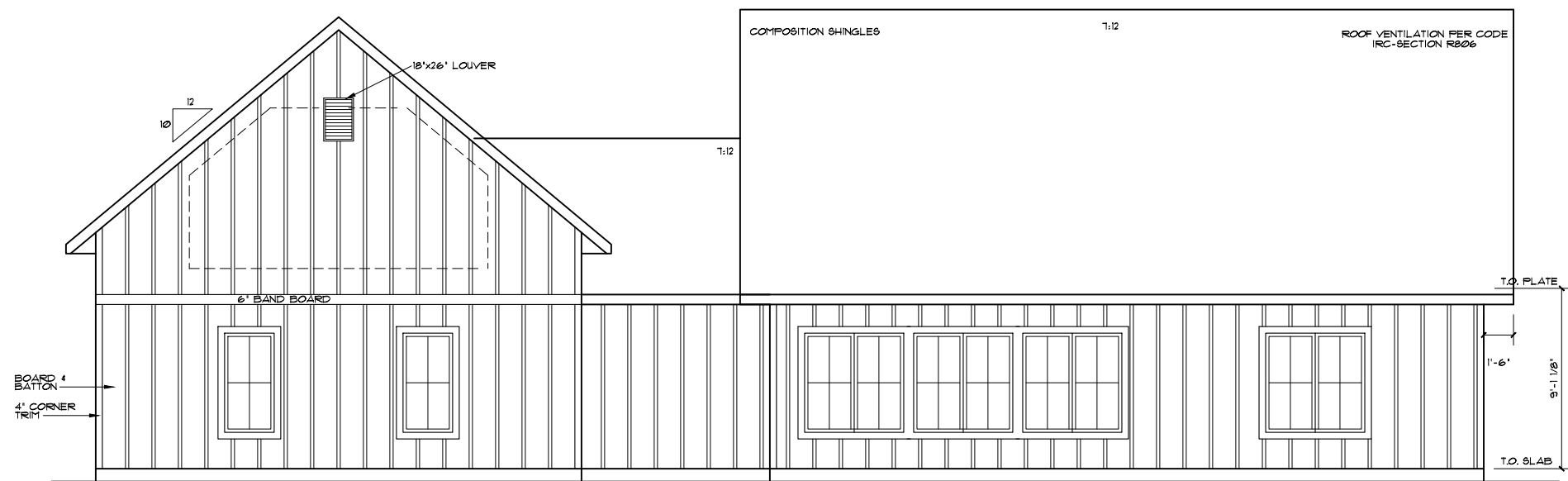
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/16" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/16" = 1'-0"



2 BACK ELEVATION
SCALE: 1/8" = 1'-0"

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SIMONSON LUMBER BAXTER
W. GORMAN
MODERN FARM HOUSE

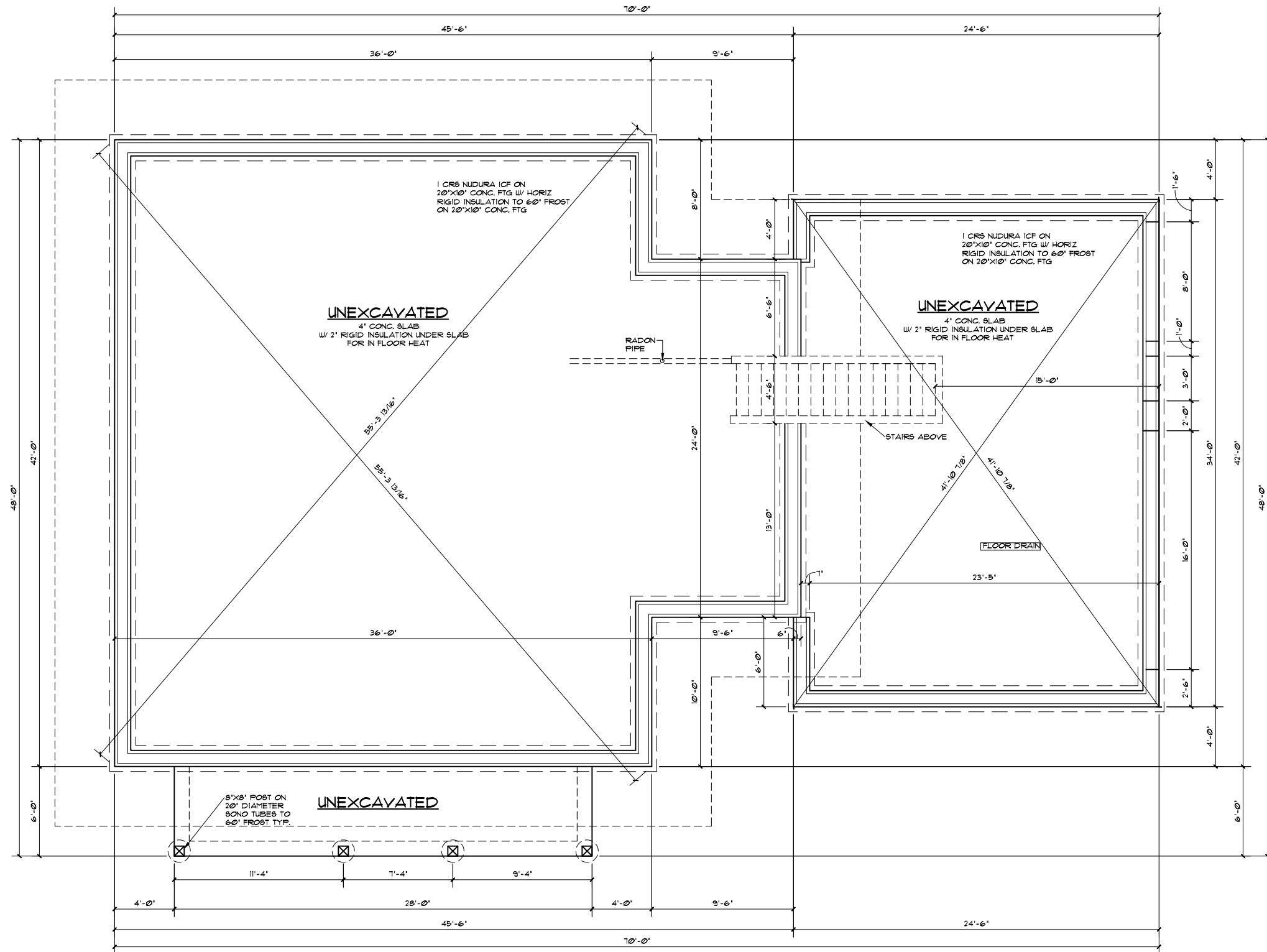
ELEVATIONS

JOB NUMBER 21224009			
FILE NUMBER 2122400923			
DATE 6/27/24	DRAFT TP	CHKD	
REVISED: 7/10/24	TP		
REVISED: 7/11/24	TP		
REVISED: 8/7/24	DK	TP	
REVISED:			
REVISED:			

ELEVATIONS

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1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

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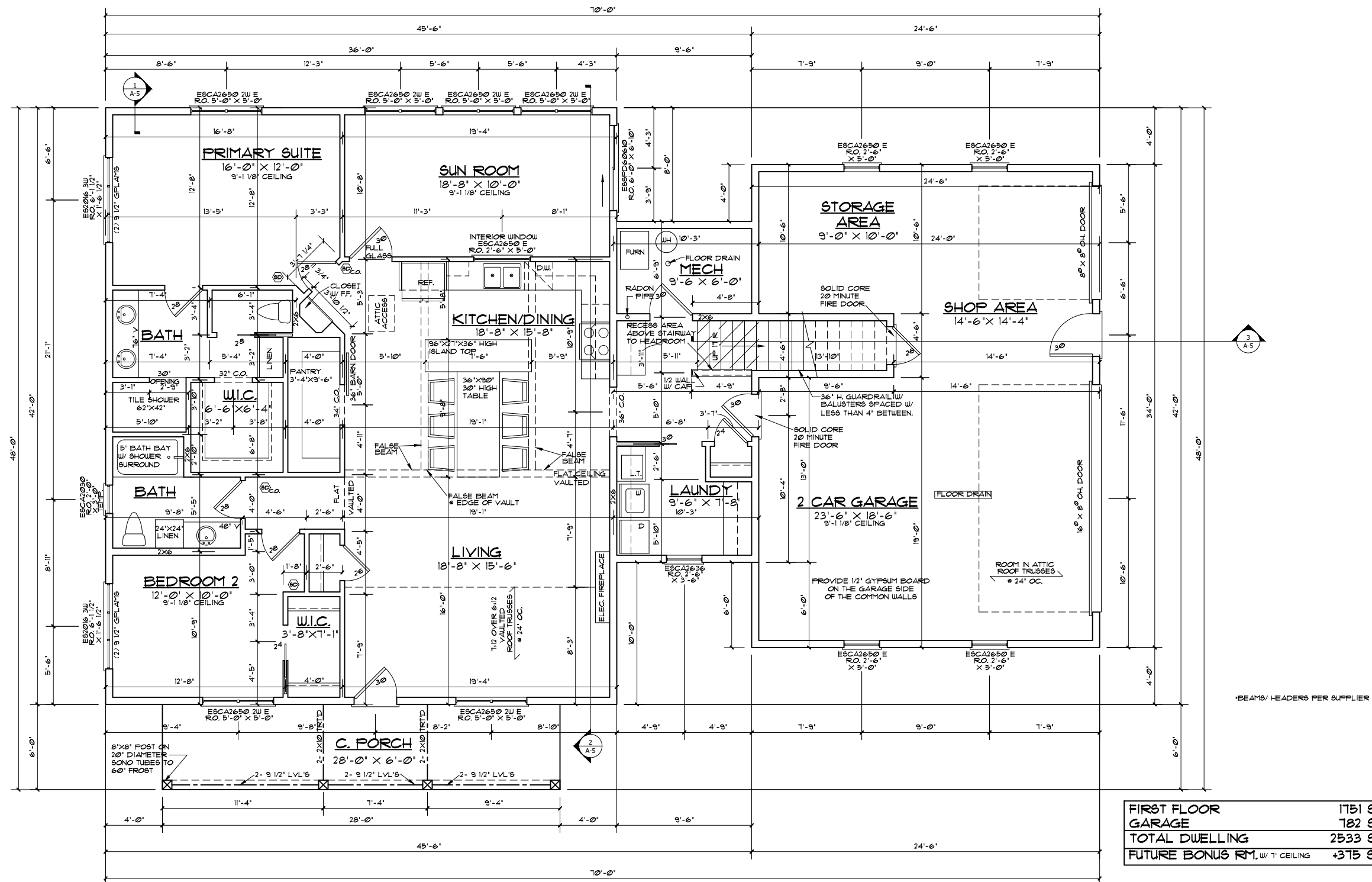
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FOUNDATION PLAN

JOB NUMBER 21224009		
FILE NUMBER 2122400923		
DATE 6/27/24	DRAFT TP	CHKD
REVISED 7/10/24	TP	
REVISED 7/11/24	TP	
REVISED 8/7/24	DK	TP
REVISED		
REVISED		

FOUNDATION PLAN

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1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

FIRST FLOOR	1751 SQ. FT.
GARAGE	782 SQ. FT.
TOTAL DWELLING	2533 SQ. FT.
FUTURE BONUS RM. W/ 1' CEILING	+375 SQ. FT.

9'-1 1/8" WALL/CEILING HEIGHT UNLESS NOTED
6'-11" WINDOW HEADER HGT. UNLESS NOTED

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MAIN FLOOR PLAN

JOB NUMBER 21224009			
FILE NUMBER 2122400923			
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REVISED 8/7/24	DK	TP	
REVISED			

MAIN FLOOR PLAN

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GENERAL NOTES:
2020 IRC CODES APPLY:

TRUSS MANUFACTURER TO VERIFY HEADER/BEAM SIZES AND POINT LOADS WHERE GIRDERS EXERT CONCENTRATED LOADS. LAYOUT TO BE VERIFIED PRIOR TO CONSTRUCTION

TALL WALL SITUATIONS (WALLS OVER 12' TALL) REQUIRE ENGINEERING. DESIGN PROVIDED BY OTHERS

ALL POST FRAME CONSTRUCTION REQUIRE ENGINEERING. DESIGN PROVIDED BY OTHERS

MARVIN ESSENTIAL WINDOWS ARE CALLED OUT

9'-1 1/8" CEILING HEIGHT * FIRST FLOOR UNLESS NOTED

6'-10" WINDOW HEADER HEIGHT UNLESS NOTED

8'-1 1/8" CEILING HEIGHT *BONUS ROOM UNLESS NOTED

6'-10" WINDOW HEADER HEIGHT UNLESS NOTED

PATIO DOOR HEADER HEIGHT PER MFG./ROUGH OPENING

60" MIN. DEPTH REQ'D FOR ALL FROST FOOTINGS

FDN. REINFORCING (1) #4 REBAR SPACING PER CODE/ SOIL CONDITIONS & WITHIN 12" FROM CORNER

FOOTING REINFORCEMENT AS REQUIRED

SOLID BEARING REQ'D * ALL BEAMS & HEADERS

ANCHOR BOLTS * 6" O.C. PER CODE

ALL TRUSSES ARE TO BE ENGINEERED & INSTALLED ACCORDING TO TRUSS MANUFACTURER. ALL BONUS ROOMS TO BE VERIFIED BY TRUSS MANUFACTURER PRIOR TO CONSTRUCTION

30" MIN. REQ'D WIDTH * TOILETS

SAFETY GLAZING REQ'D FOR ALL GLASS WITHIN 18' OF FLOOR AND GREATER THAN 9 SQ. FT. IN AREA

SAFETY GLAZING REQ'D FOR ALL GLASS WITHIN 24" ARC OF DOORS

VAPOR RETARDER REQ'D UNDER ALL CONC. SLABS IN HABITABLE AREA

ROOF VENTILATION PER CODE

IRC-SECTION R806

CARBON MONOXIDE DETECTOR REQ'D WITHIN 10' OF ALL SLEEPING ROOMS

WINDOWS TO BE CAULKED AND TAPED

SILL SEALER TO BE INSTALLED UNDER ALL SILL PLATES

SEALED, CONTINUOUS AIR AND VAPOR BARRIER TO BE INSTALLED ON WARM SIDE OF EXTERIOR WALLS, WITH ALL JOINTS, OPENINGS, AND PENETRATIONS SEALED IN A PERMANENT MANNER

UNSUPPORTED SHEATHING JOINTS TO BE SEALED ON EXTERIOR OF JOINT

AIR BARRIER ON EXTERIOR OF HOME TO BE WITH J-BLOCKS OR SOLID WOOD BLOCK FOR PENETRATIONS

ATTIC ACCESS TO BE SEALED WITH SPRAY TEXTURE OR CAULK

92%+ SEALED COMBUSTION FURNACE

AIR EXCHANGER OR IN LINE FAN

DIRECT VENT GAS WATER HEATER (IF APPLIES)

MAX. 300 CFM ON ANY ONE APPLIANCE

WINDOW FALL PROTECTION REQUIRED WHERE LOWEST PART OF OPENING IS MORE THAN 12' ABOVE FINISHED GRADE OR SURFACE BELOW & THE LOWEST PART OF THE OPENING IS WITHIN 24" OF THE FINISHED FLOOR. EXAMPLE: WINDOW OPENING CONTROL DEVICE

CONCRETE FOOTING ARE REQ'D TO BE 5,000 PSI

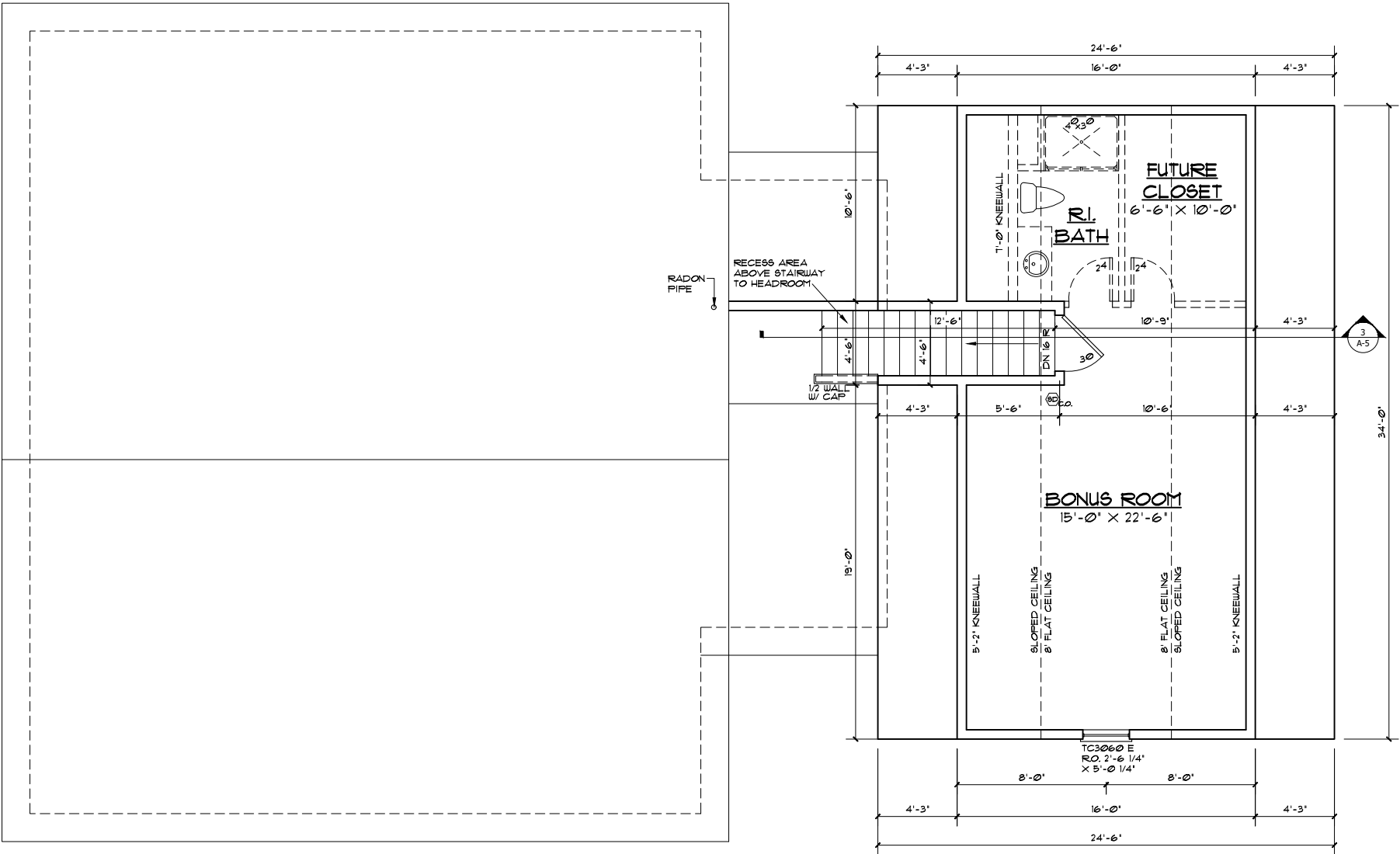
FOUNDATION WALL REQ'D TO BE WATERPROOFED

FIRE PROTECTION FOR FLOORS AT BASEMENT MUST BE 1/2" GYPSUM WALL MEMBRANE OR 5/8" WOOD STRUCTURAL PANEL MEMBRANE. AN AREA NOT TO EXCEED 80 SQ. FT. CAN BE LEFT UNPROTECTED PROVIDED THERE IS FIREBLOCKING IN STALLED ALONG THE PERIMETER OF THE UNPROTECTED AREA.

VAPOR RETARDER REQ'D ON THE INTERIOR SIDE OF THE FRAMED WALL. CLASS I, II, OR III MAY BE USED.

75% OF ALL LIGHT FIXTURES TO HAVE HIGH EFFICIENCY BULBS.

ROOF TRUSSES AT HABITABLE SPACES TO HAVE ENERGY HEEL HEIGHTS UNLESS NOTED.



FIRST FLOOR	1751 SQ. FT.
GARAGE	182 SQ. FT.
TOTAL DWELLING	2533 SQ. FT.
FUTURE BONUS RM. w/ 1' CEILING	+375 SQ. FT.

WINDOW FALL PROTECTION REQUIRED WHERE LOWEST PART OF OPENING IS MORE THAN 12' ABOVE FINISHED GRADE OR SURFACE BELOW & THE LOWEST PART OF THE OPENING IS WITHIN 24" OF THE FINISHED FLOOR. EXAMPLE: WINDOW OPENING CONTROL DEVICE

1 BONUS ROOM PLAN SCALE: 1/8" = 1'-0"

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BONUS ROOM PLAN

JOB NUMBER 21224009		
FILE NUMBER 2122400923		
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REVISED:		
REVISED:		

BONUS ROOM PLAN

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- APPLIES TO BASEMENTS, CONDITIONED CRAWLSPACES, SLAB-ON-GRADE BUILDINGS AND OTHER FOUNDATIONS UNDER CONDITIONED SPACE

- MINIMUM CODE REQUIREMENTS ARE LISTED. OTHER SYSTEM COMPONENTS ARE SUGGESTED FOR BEST PRACTICE INSTALLATION BASED ON MINNESOTA DEPARTMENT OF HEALTH RECOMMENDATIONS.



1/16" = 1'-0"

ROOF VENTILATION PER CODE
IRC-SECTION R306

12 1

12 1

12 6

12 3

1'-6" TYP.

R-49 ATTIC INSULATION
4 MIL. POLY
5/8" DRYWALL

SUN ROOM

2x6 .40 SILL PLATE
1/2" DIA. ANCHOR BOLTS
• 6'-0" O.C. PER CODE

KITCHEN

LIVING

T.V.

ELEC. F.P.
T.D.B.

HEIGHTS,
SIZE, AND
LOCATION
TO BE
DETERMINED

9'-1 1/8"

8'-0"

3'-0"

12 3

2 BUILDING SECTION

RADON VENT PIPE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF (1303.2402.5.A)

MINIMUM 3" ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE. 4" PIPE MAY BE MORE EFFECTIVE, BUT IS NOT REQUIRED

SPACE PROVIDED FOR FUTURE INSTALLATION OF A FAN (1303.2402.5.D)
 • MINIMUM 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK
 • MINIMUM VERTICAL DISTANCE OF 3 FEET

INSTALL LIVE OUTLET IN THE ATTIC NEAR WHERE FUTURE FAN MAY BE INSTALLED (1303.2402.6)

INSTALL LABEL READING 'RADON GAS VENT SYSTEM' ON THE VENT PIPE AT EACH FLOOR AND IN ACCESSIBLE ATTIC (1303.2402.5E)

INSTALL PIPE AS STRAIGHT AS POSSIBLE TO HELP CONDUCTIVE FLOW. ELBOWS ARE ALLOWED BUT SHOULD BE AVOIDED IF POSSIBLE.

SEAL ALL JOINTS, CRACKS, OR OTHER OPENINGS (1303.2402.4)

ALL PIPE COMPONENTS MUST ALLOW MOISTURE TO POSITIVELY DRAIN BENEATH THE SLAB OR SOIL-GAS-RETARDER. (AF103.7)

MINIMUM 6-MIL OR 3-MIL CROSS LAMINATED POLYETHYLENE SHALL BE LAPPED 12" AND PLACED BELOW THE SLAB AND ON TOP OF THE GAS PERMEABLE LAYER

• FIT POLYETHYLENE LAYER CLOSELY TO PENETRATIONS (AF103.3)
 • SEAL / COVER PUNCTURES OR TEARS WITH ADDITIONAL POLYETHYLENE (1303.2402.2)

Architectural cross-section drawing of a two-car garage with a bonus room above. The drawing shows a staircase with 10" treads, typ. (3) 2x12 stringers, and a 36" H. guardrail w/ balusters spaced w/ less than 4" between (typ.). The bonus room has a 16'-0" wide opening and a 9'-1 1/2" high ceiling. The garage has a 2x6 sill plate with 1/2" dia. anchor bolts @ 6'-0" O.C. per code. The overall width is 15' 10" and the depth is 12'-6".

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SECTIONS

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SECTIONS

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